

BUILDING UNIT

Form 6 Application for Code Compliance Certificate

Under The Building Act 2004, Section 92

Please submit the Application for Code Compliance Certificate, when work has been completed, by emailing to: **ccc@wmk.govt.nz**

Office use only - Date Form 6 received:

1. The Building Consent

Building consent number(s) (BC):

Issued by:

Site address: (number/street/road/township)

2. The Owner - All details must be the legal owner's

PLEASE NOTE - This section is only required to be completed if the owner details have changed from the building consent.

No change to details

Name of owner: (include preferred form of address, e.g. Mr, Mrs, Ms, Miss, Dr, if an individual)

Contact person: (not required if the owner is an individual. Must have a New Zealand address)

Mailing address:

Street address/Registered office: (if different than above)

Phone number:

Landline:

Mobile:

Daytime:

After hours:

Fax:

Email:

Website:

As the owner, where you have given authorisation for an Agent to act on your behalf, please confirm if you require a copy of Code Compliance Certificate correspondence: Yes No

The following evidence of ownership is attached to this application - **not required if details have not changed from the building consent:**

Copy of Record of Title OR Council to provide (additional charge of \$15)

(Current within 1 month of being issued and must include a deposited plan [diagram]. Where the Record of Title is not current, Council will provide this [additional charge of \$15 applies]).

Signed copy of Sales and Purchase Agreement (If Record of Title is not issued)

Other document showing full name of legal owner(s) (e.g. Rates Invoice)

3. Agent - Only required when the application is being made on behalf of the owner

PLEASE NOTE - Authorisation is required from the owner of the property

Name of agent:

Contact person: (not required if the applicant is an individual)

Mailing address:

Street address/Registered office: (if different than above)

Phone number:

Landline:

Mobile:

Daytime:

After hours:

Fax:

Email:

Website:

Relationship to owner: (state details of the authorisation from the owner to make the application on the owner's behalf)

PLEASE NOTE - The Agent will be the first point of contact for communications with the Council/Building Consent Authority regarding this application.

4. Application

The following field must be completed when submitting the Code Compliance Certificate application:

All building work carried out under the Building Consent specified in this form was completed on:

Restricted building work

Did the building work include any restricted building work? Yes No

The Licensed Building Practitioner(s) who carried out or supervised the restricted building work is/are as follows:

Licence class	Name	Licensed building practitioner number (or registration number if treated as being licensed under section 291 of the Building Act 2004)	Particular work carried out or supervised
Foundations			
Carpentry			
Exterior Plasterer			
Scyon Panel			
Bricklayer			
Blocklayer			
Roofer			

Key personnel**Builder**

Name:

Reg. No.:

Address:

Phone No.:

Email:

Designer(s)

Name:

Reg. No.:

Address:

Phone No.:

Email:

Certifying drainlayer

Name:

Reg. No.:

Address:

Phone No.:

Email:

Certifying plumber

Name:

Reg. No.:

Address:

Phone No.:

Email:

Certifying gasfitter

Name:

Reg. No.:

Address:

Phone No.:

Email:

Registered electrician

Name:

Reg. No.:

Address:

Phone No.:

Email:

Structural engineer

Name:

Reg. No.:

Address:

Phone No.:

Email:

Specified systems

The following specified systems are contained on the compliance schedule for the building and, in the opinion of the personnel who installed them, are capable of performing to the performance standards set out in the Building Consent. Tick appropriate specified systems below:

There are no specified systems in the building

- | | |
|--|--|
| SS1 Automatic systems for fire suppression | SS12/1 Audio loops |
| SS2 Emergency warning systems | SS12/2 FM Radio and infrared beam transmission systems |
| SS3/1 Automatic door | SS13/1 Mechanical smoke control |
| SS3/2 Access controlled doors | SS13/2 Natural smoke control |
| SS3/3 Interfaced fire or smoke doors or windows | SS13/3 Smoke curtains |
| SS4 Emergency lighting systems | SS14/1 Emergency power systems |
| SS5 Escape route pressurisation systems | S14/2 Signs for SS1-13 |
| SS6 Riser mains | SS15/1 Spoken information to facilitate evacuation |
| SS7 Automatic back-flow prevention | SS15/2 Final exits |
| SS8/1 Passenger carrying lifts | SS15/3 Fire separations |
| SS8/2 Service lifts | SS15/4 Signs for facilitating evacuation |
| SS8/3 Escalator and moving walks | SS15/5 Smoke separations |
| SS9 Mechanical ventilation or air conditioning systems | SS16 Cable cars |
| SS10 Building maintenance units | |
| SS11 Laboratory fume cupboards | |

I request that you issue a Code Compliance Certificate for this work under section 95 of the Building Act 2004.

The Code Compliance Certificate should be sent to: Owner Agent

I wish to receive my certificate in the following format:

PLEASE NOTE - If hard copy, please confirm if you wish to pick it up from the Council or have it posted.

Hard copy: (post) OR (pick-up) OR Email

Terms of trade

I/We understand that:

Fees associated with the Building Consent shall be paid for i.e. development contributions, amendments, additional inspections, and extensions prior to the issue of Code Compliance Certificate.

All other accounts shall be paid by the 20th day of the month following the month in which the invoice is issued.

I/We agree to pay according to these terms for any goods or services you supply to us. Failure to meet these Terms of Trade may result in any credit arrangement being withdrawn with any balance becoming payable within seven days. Should failure to meet the terms of trade result in debt recovery and/or legal proceedings, any costs whatsoever incurred in the collection of the debt including debt collector's fees and commissions and legal costs, charges and expenses on a solicitor and own client basis will be added to the account and will be payable by me/us.

Application authorisation

By entering your name in the box below you are giving your authority for this application to proceed under Section 92 of the Building Act 2004.

Name:

Date:

I am the: Owner Agent on behalf of, and with the authority of the owner

5. Attachments

The following documents are attached to this application: *(Where applicable)*

Other documents from personnel that carried out the work

Memoranda (records of building work) from licensed building practitioner(s) stating what restricted building work they carried out or supervised

Certificates that relate to the energy work *(e.g. gas and electricity)*

Evidence that the specified systems are capable of performing to the performance standards set out in the building consent

Proof of potability of drinking water from private well, and/or rain water catchment, supply

(Refer to New Zealand Drinking Water Standards 2005)

Important information

All the relevant information on this form is required to be provided under the *Building Act 2004* and/or *Resource Management Act 1991* for the Waimakariri District Council to assess your application. Under these Acts this information has to be made available to members of the public if requested. The information contained in this application may be made available to other units of the Council. You have the right to access the personal information held about you by the Council which can be readily retrieved. You can also request that the Council correct any personal information it holds about you.

Code compliance certificate

A Building Consent is not completed until it has been issued with a Code Compliance Certificate. The owner is required to complete a separate application for a Code Compliance Certificate as soon as practicable after the building work is completed. In any event no later than two (2) years after the granting of the Building Consent, the Council is required to decide whether or not a Code Compliance Certificate can be issued. If your project will not be completed within two years, you may request an extension which will need to be agreed to by Council (fees apply), refer to [building application forms and fact sheets](#).

Inspections

During the process of construction, inspections will be necessary to confirm all work complies with your approved Building Consent documentation. Please phone the Council Building Unit on 03 311 8906 at least **48 hours in advance** of requiring an inspection. Bookings are subject to demand and availability of inspectors, **please be advised that it is not always possible to carry out an inspection within 48 hours**.

The inspections required will be set out in the Building Consent documentation issued by the Council. Failure to have a prescribed inspection carried out may put the issue of the Code Compliance Certificate at risk.

All inspections including re-inspections are subjected to a separate charge, even if carried out on the same day.

Agency

The owner may authorise an agent to submit an application on their behalf.

The Agent will be the first point of contact for all communications with the Council/Building Consent Authority regarding the application for a Code Compliance Certificate under *Section 92 of the Building Act 2004*. They will receive all correspondence and must be authorised by the owner. All amendments require new authorisation.

The owner can elect to receive a copy of correspondence regarding this Code Compliance Certificate in “The owner” section of this application form, or by notifying Council during the Code Compliance Certificate process.

Fees

All work for the issue of a Code Compliance Certificate will be invoiced and needs to be paid in full as described in *Section 95 of the Building Act 2004* before the Code Compliance Certificate can be issued, refer to [building services fees and charges](#).

Notice to fix

If a Notice to Fix is issued, it will state the building work that must be carried out and will set a timeframe in which this work must be completed. Once the work listed has been completed a further inspection needs to be booked by phoning the Council Building Unit on 03 311 8906.



AGREEMENT LETTER

NOMINATED FABRICATOR = AKARANA TIMBERS CHRISTCHURCH (Ph: 03 347 8845)

DATE: **28 February 2023** CONSENT NO: **BC221264**
CLIENT: **SHC Limited T/A Stonewood Homes**
JOB NAME: **Lot 755 Ravenswood (GJEK Ltd)**
SITE ADDRESS: **38 Crossley Avenue, Woodend.**
JOB REF: **CH2300008**

Attn: Territorial Authority

We have manufactured the frames and trusses for the above project.
The following has been provided to both the building owner and your office:

- (1) A full 'as-built' layout and Producer Statement
- (2) Specific truss/truss fixings done as per NZS3604:2011, Clause 10.2.2.6.1
- (3) Specific top plate to stud fixings that comply with NZS3604:2011, Table 8.18
- (4) Specific lintel fixings outside NZS3604:2011

On advice from the building project owner, the structure has been designed under the following parameters

Roofing material:	Metal Tile	Wind zone:	High
Soffit:	600mm	Snow load:	0.441kPa (basic roof load)
Spacing:	900mm	Snow load:	0.900kPa (O/G snow load)
Roof pitch:	25.0°		

Treatment Definition:

Roof Trusses: **90x45mm SG KD (H1.2)**
External Walls: **90x45mm SG KD (H1.2) (Stud centers as per NZ3604:2011)**
Internal Walls: **90x45mm SG KD (H1.2) (Stud centers as per NZ3604:2011)**

It should be noted that the details provided have been designed to comply with the Building Code and relevant standards. Any increase above these standards is only at the preference and request of the building owner.



Correspondence from : **AUCKLAND**
40 Neales Road, East Tamaki 2013
PO Box 58-014, Botany 2163
Phone: 09 274 7109
Fax: 09 274 7100

CHRISTCHURCH
14 Pilkington Way, Wigram 8042
PO Box 8387, Riccarton 8440
Phone: 03 348 8691
Fax: 03 348 0314

www.mitek.nz.co.nz

Printed: 09:33:12 28 Feb 2023

MiTek 20/20 Engineering 4.7.346.0

PRODUCER STATEMENT for MiTek 20/20[®] TRUSS DESIGN - Version 4.7

ISSUED BY: **MiTek New Zealand Limited**
TO: **Akarana Timbers Christchurch**
IN RESPECT OF: **MiTek[®] Truss Designs**

This producer statement covers the MiTek 20/20[®] truss design and the structural performance of the GANG-NAIL[®] connector plate for the job reference **2300008** and may be used by a Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

The MiTek 20/20[®] truss design program has been developed by MiTek New Zealand Limited for the design of MiTek[®] timber roof, floor and attic trusses in New Zealand. The truss designs computed by MiTek 20/20[®] are prepared using sound and widely accepted engineering principles, and in accordance with compliance documents of the New Zealand Building Code and Verification Method B1/VM1; and internationally accepted standard ANSI/TPI 1 - 2002 as an alternative solution, to satisfy the requirements of Clause B1 of the New Zealand Building Code.

On behalf of MiTek New Zealand Limited, and subject to:

- i) All proprietary products meeting their performance specification requirements
- ii) The provision of adequate roof bracing and overall building stability
- iii) Correct selection and placement of GANG-NAIL connector plates
- iv) Correct input of Truss Design Data as shown in the Fabricator Design Statement for this job
- v) The design being undertaken by the accredited fabricator under the terms of the software licence
- vi) Timber is graded to the requirements of NZS 3603:1993
- vii) Minimum timber treatment for these MiTek[®] trusses shall be in accordance with B2/AS1 Table 1A and the relevant sections of NZS 3602:2003

I believe on reasonable grounds that the trusses, if constructed in accordance with the MiTek 20/20[®] truss design and shop drawings, will comply with the relevant provisions of the New Zealand Building Code.

MiTek New Zealand Limited holds a current policy of Professional Indemnity Insurance no less than \$500,000.

On behalf of MiTek New Zealand Limited, **Date: Tuesday, 28 February 2023**

In Ling Ng, BE (Hons), CPEng, IntPE, MIPENZ (ID: 146585)
TECHNICAL SERVICES MANAGER, MiTek New Zealand Limited

Job: 2300008	Client: SHC Limited T/A Stonewood Homes	Site: New Home
Description: Building Consent No.: BC221264	Phone:	Lot 755 Ravenswood 38 Crossley Avenue, Woodend
MiTek 20/20 Engineering 4.7.346.0	MiTek New Zealand Limited	Phone: Printed: 09:33:12 28 Feb 2023

MITEK FABRICATOR DESIGN STATEMENT

This statement is issued by MiTek accredited fabricator **Akarana Timbers Christchurch**, being licensed to use the MiTek 20/20® software, to the client listed above and may be used by the Building Consent Authority to assist in determining compliance with the New Zealand Building Code.

MiTek 20/20® TRUSS DESIGN DATA

The MiTek 20/20® computer design for this job is based on the following design parameters entered into the program. The Fabricator shall ensure that these job details are current and relevant to the project for the design of the MiTek® trusses.

Job Details	Importance Level :	2	Design Working Life :	50 years
Roof Truss				
Timber Group:	SGx45 H1.2	Pitch:	Nominal Overhang:	600 mm
Roof		Ceiling	Wind	
Material:	Metal Tiles	Material:	Area:	High (44.0 m/s)
Dead Load:	0.210 kPa	Dead Load:	Pressure Coeff:	Cpe = varies; Cpi = -0.30, 0.20
Restraints:	400 mm centres	Restraints:	Snow	
Live Load:	Qur = 0.250 kPa	Live Load:	Location:	Christchurch (N4) at 100 m
	Qc = 1.100 kN		Open Ground Load:	0.900 kPa
			Basic Roof Load:	0.526 kPa

The minimum timber treatment for these MiTek® trusses shall be in accordance with B2/AS1 Table 1A and the relevant sections of NZS 3602:2003. The timber for these MiTek® trusses shall be graded to the requirements of NZS 3603:1993. Proprietary fixings and timber connectors shall be selected in accordance with NZS3604:2011 Section 4 - Durability.

MiTek® Truss List

Legend: * = detail only, ? = input only, ✕ = failed design, Ø = non certified, Unmarked trusses = designed successfully, LB = lateral bracing required
GB = gable brace required

Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)	Truss	Qty	Span (mm)	Pitch (deg)	Spacing (mm)
*HB01	2	6028	18.249	900	J01B	1	2762	25.000	900	J05C	1	2997	25.000	900
TG01	1	7370	25.000	900	J01	2	2762	25.000	900	*R01	1	1575	25.000	900
T01	4	7370	25.000	900	J01C	1	2762	25.000	900	*R01A	1	1575	25.000	900
T04	1	6248	25.000	900	J01A	1	2762	25.000	900	*R02	4	913	25.000	900
T04A	3	6248	25.000	900	J04A	2	1197	25.000	900	*R02A	2	913	25.000	900
HT04	1	5780	25.000	900	J04	2	1197	25.000	900	*R03	2	2701	25.000	900
T02	1	5780	25.000	900	J03	1	2097	25.000	900	*R04	1	820	25.000	900
HT03	1	5780	25.000	900	J03E	2	2097	25.000	900	*OT01	8	1305	0.000	815
HT02	1	5780	25.000	900	J03B	1	2097	25.000	900	*FR01	2	2190	25.000	900
HTG02	1	5780	25.000	900	J03C	1	2097	25.000	900	*HB02	1	2164	18.249	900
*HB03	2	7633	18.249	900	J03D	2	2097	25.000	900					
TG02	1	9640	25.000	900	V01	1	1324	25.000	900					
HTG01	1	7497	25.000	900	V02	1	1875	25.000	900					
*HB04	1	4536	18.249	900	V03	1	1914	25.000	900					
HT01	1	3180	25.000	900	V04	1	1014	25.000	900					
T03A	2	3180	25.000	900	J03A	1	2097	25.000	900					
T03	1	3180	25.000	900	J05A	1	2997	25.000	900					
J02	2	1862	25.000	900	J05	2	2997	25.000	900					
J02A	2	1862	25.000	900	J05B	2	2997	25.000	900					

Total quantity : 78

The computer design input has been carried out by:

Signed: 

Date: ...Tuesday, 28 February 2023....

Name of Detailer: Theo Budel

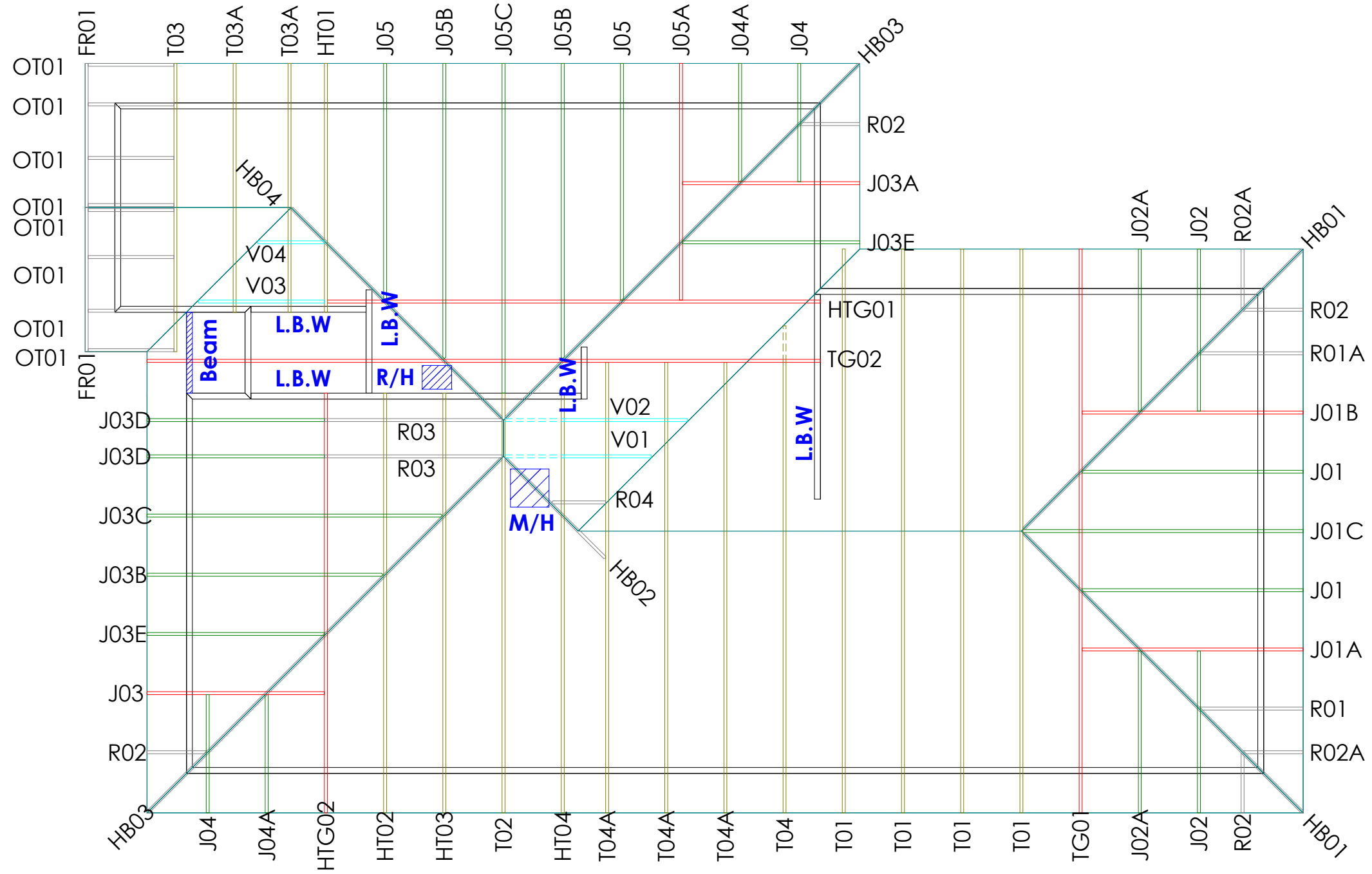
Qualifications and Title: Detailer

On behalf of: Akarana Timbers Christchurch



18 Hynds Drive, I-Zone Industrial Park, Rolleston 7675, New Zealand
Phone: Ph 03 3478845

GABLE END FRAME



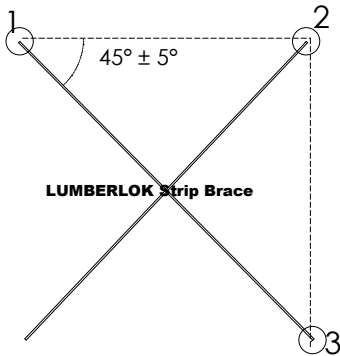
Truss Fixings

-  A - LUMBERLOK JH47x90 Joist Hanger
-  B - LUMBERLOK JH47x120 Joist Hanger
-  D - LUMBERLOK JH47x190 Joist Hanger
-  E - LUMBERLOK JH95x165 Joist Hanger
-  C - Pair of LUMBERLOK CT200 Ceiling Ties
-  M - Pair of LUMBERLOK Multi Grips
-  NP - LUMBERLOK Nailon Plate
-  N - LUMBERLOK N21 Diagonal Cleat
-  P - LUMBERLOK TTP 16kN Truss to Top Plate set
-  Q - LUMBERLOK TTP 9kN Truss to Top Plate set

Roof Bracing

Refer to:
LUMBERLOK Roof Bracing Specifications
brochure 08/2006 for end fixing details.

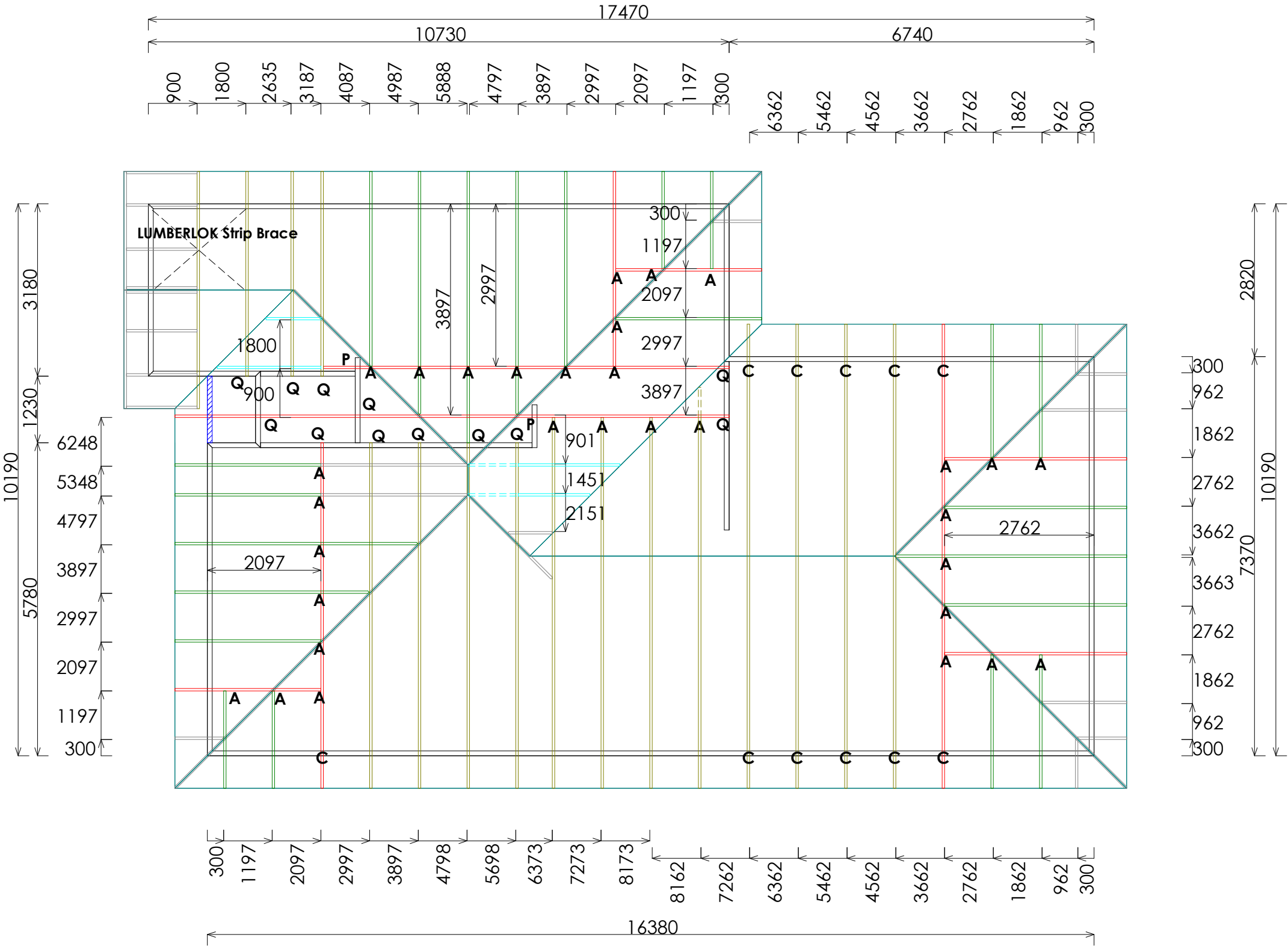
The brace must be located such that it forms an angle of 45° ± 5° to the wall

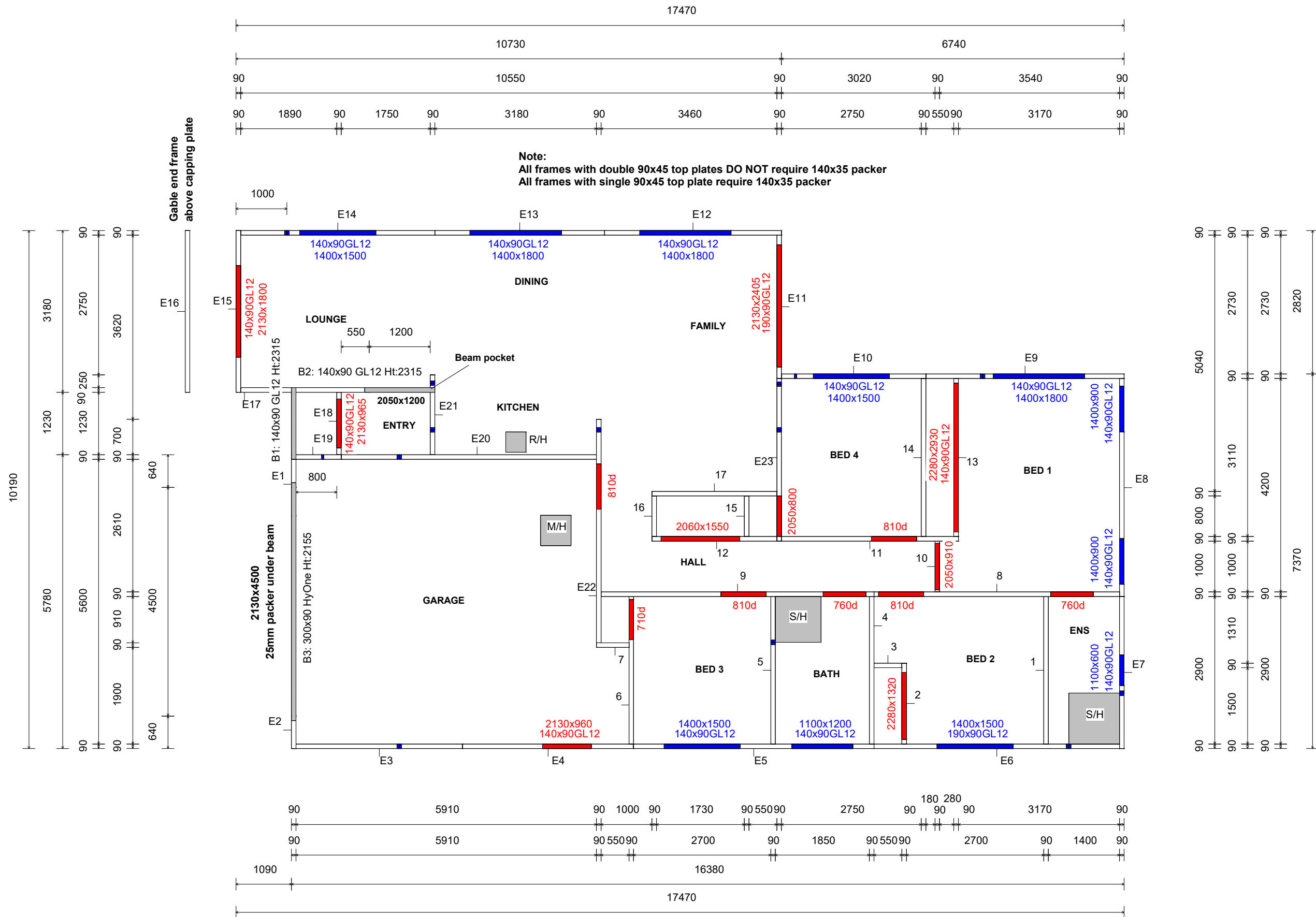


NOTES:

All other areas must have at the minimum
2/ 90x3.15mm skew nails + 2 wire dogs
for truss to top plate connections.

Refer to:
LUMBERLOK Timber Connectors Characteristic
Loadings Data brochure 03/4



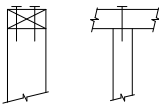


Stud to top plate fixing details

Type A is minimum fixing required unless specified otherwise

FIXING TYPE A
0.7kN

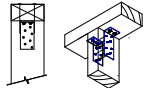
2/90x3.33 plain steel wire
nails driven vertically into
stud.



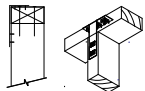
FIXING TYPE B
4.7kN

2 x 90mm x 3.15 dia. plain steel wire nails driven
vertically into stud.

AND



OR



Recommended for
internal wall options to
avoid lining issues.

Plus 2x LUMBERLOK
CPC40

Plus LUMBERLOK
Stud Strap
(One face only)

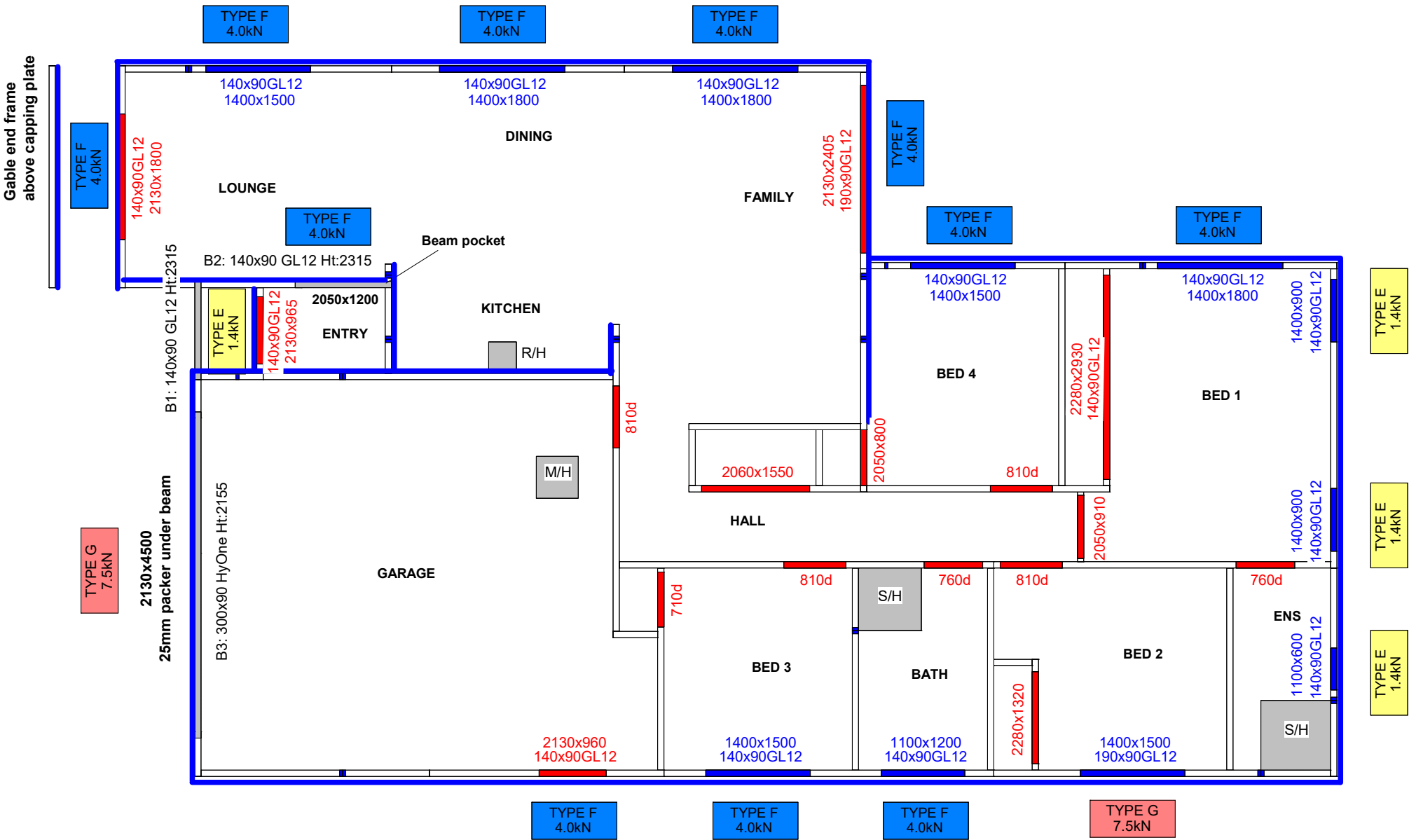
Lintel Fixing Details

TYPE E
1.4kN

TYPE F
4.0kN

TYPE G
7.5kN

TYPE H
13.5kN



NOTES:

Refer to:
LUMBERLOK Wall Fixing Chart - Stud to Top Plate
Fixing Schedule 09/2011

(Alternative to NZS3604:2011 Table 8.18)

Akarana
timbers

Ph: 03 3477 818

Site Address :
New Home
Lot 755 Ravenswood
38 Crossley Avenue, Woodend

Sheet Title :
As Built Design
Top Plate/Lintel Fixings

Date : Feb 17, 2023
Scale : 1: 100
Drawn : Theo Budel
System : MiTek 20/20

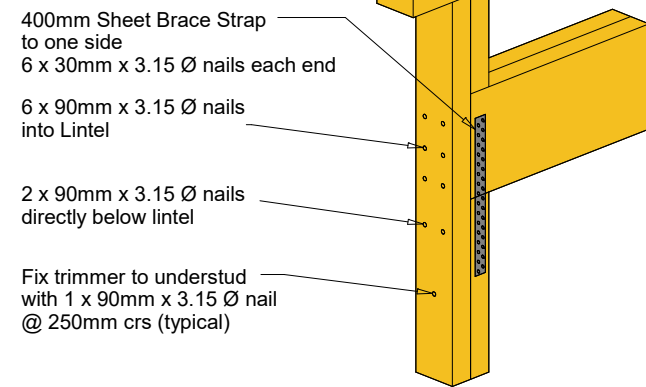
Job Details:
Roof Pitch : 25.00deg
Roof Material : Metal Tiles
Ceiling Material : Gib Board 13mm
Wind Zone : High
Roof Snow Load : 0.441kPa

Truss Centres : 900mm
Roof Live Load : 0.250kPa
Floor Live Load :
Wind Speed : 44m/s
Overhang : 600mm

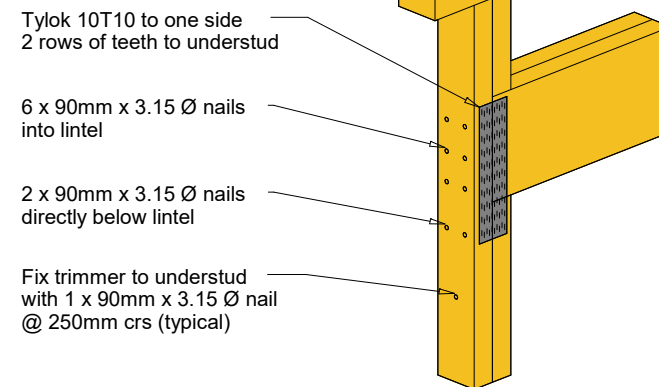
PrimeCad v4.7.346
Mi
MiTek

Job Title :
2300008
Sheet :
3
Revision Number :

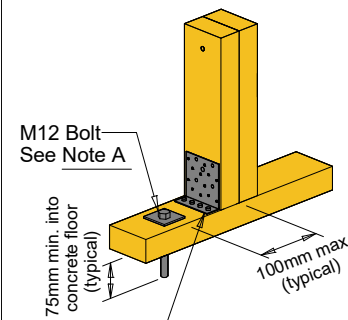
TYPE G
7.5 kN



OR

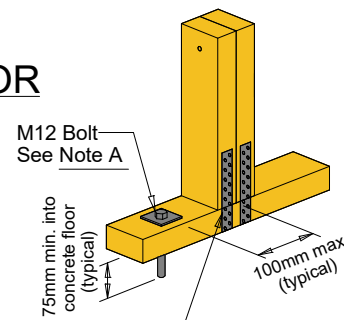


Note A:
M12 proprietary concrete fixing bolt with 50x50x3mm square washer
Or
M12 x 150mm coach screw with 50x50x3mm square washer into timber joist/bearer



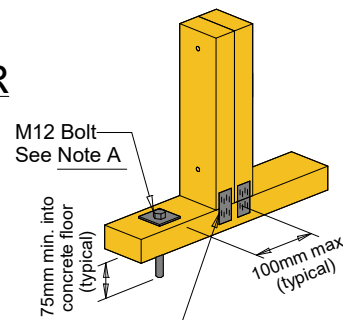
6kN Stud Anchor (CPC80)

OR



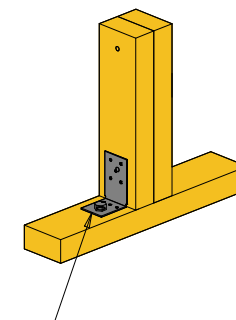
2 x 200mm Sheet Brace Strap to one side.
Each Strap to have 3 x 30mm x 3.15 Ø nails into stud & 3 x 30mm x 3.15 Ø nails into bottom plate

OR



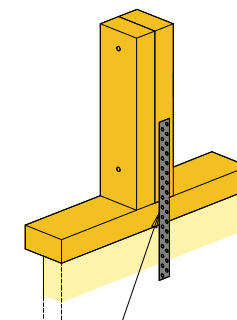
2 x Tylok 2T4 both sides for Radiata Pine
2 x Strap Nail both sides for Douglas Fir

OR



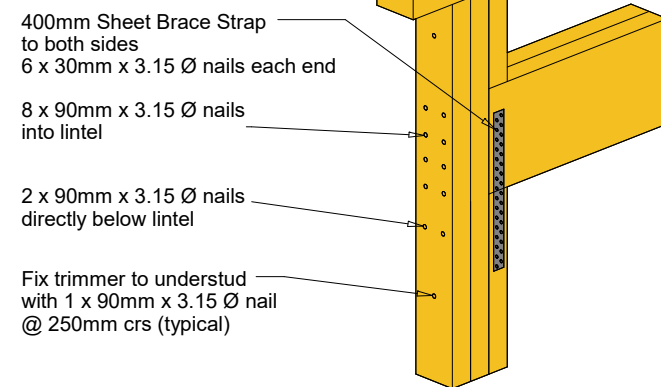
GIB HandiBrac

OR

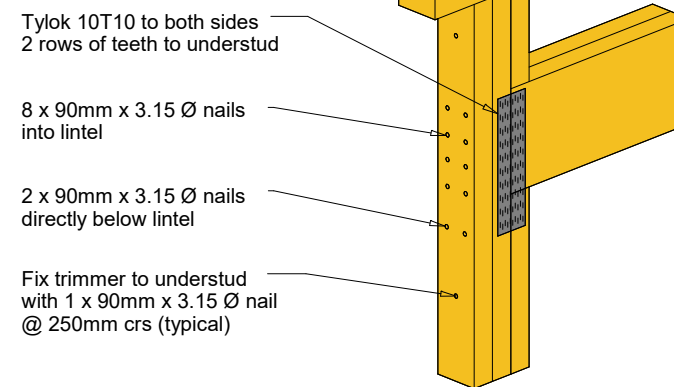


400mm Sheet Brace Strap to one side.
6 x 30mm x 3.15 Ø nails into stud.
3 x 30mm x 3.15 Ø nails into bottom plate.
6 x 30mm x 3.15 Ø nails into timber joist/bearer

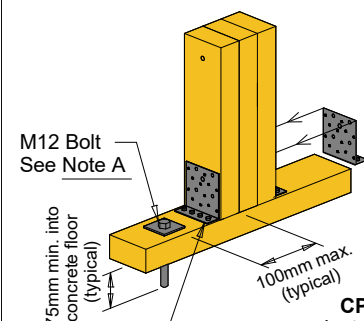
TYPE H
13.5 kN



OR



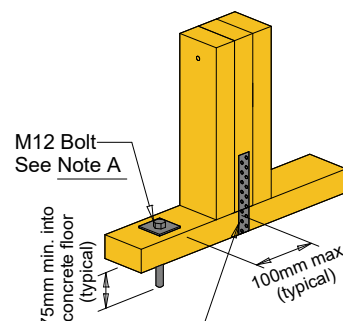
Note A:
M12 proprietary concrete fixing bolt with 50x50x3mm square washer
Or
M12 x 150mm coach screw with 50x50x3mm square washer into timber joist/bearer



2 x 6kN Stud Anchor (CPC80)

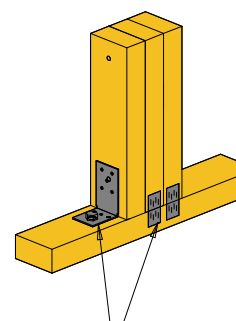


OR



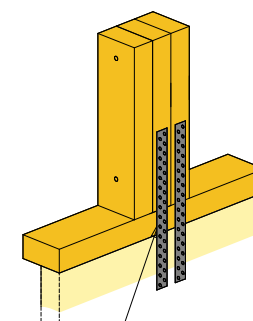
400mm Sheet Brace Strap wrap around bottom plate and up the other side.
6 x 30mm x 3.15 Ø nails into each side of stud.
3 x 30mm x 3.15 Ø nails into each side of bottom plate.

OR



GIB ® HandiBracT M and 2 x Tylok 2T4 both sides

OR

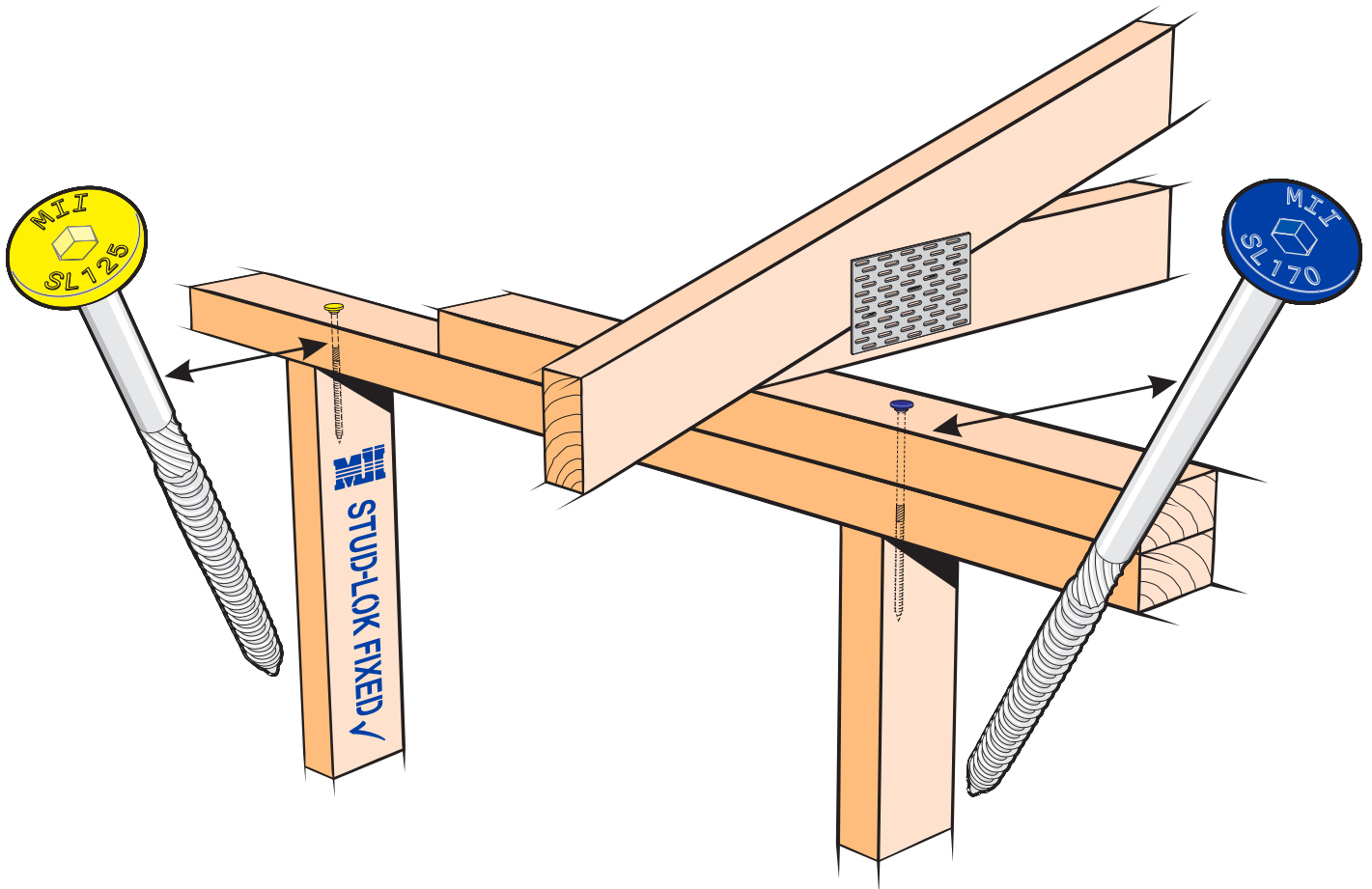


2 x 400mm Sheet Brace Strap to one side.
6 x 30mm x 3.15 Ø nails into stud.
3 x 30mm x 3.15 Ø nails into bottom plate.
6 x 30mm x 3.15 Ø nails into timber joist/bearer



STUD-LOK

Provides a solution for top plate to stud fixings for residential timber frame buildings



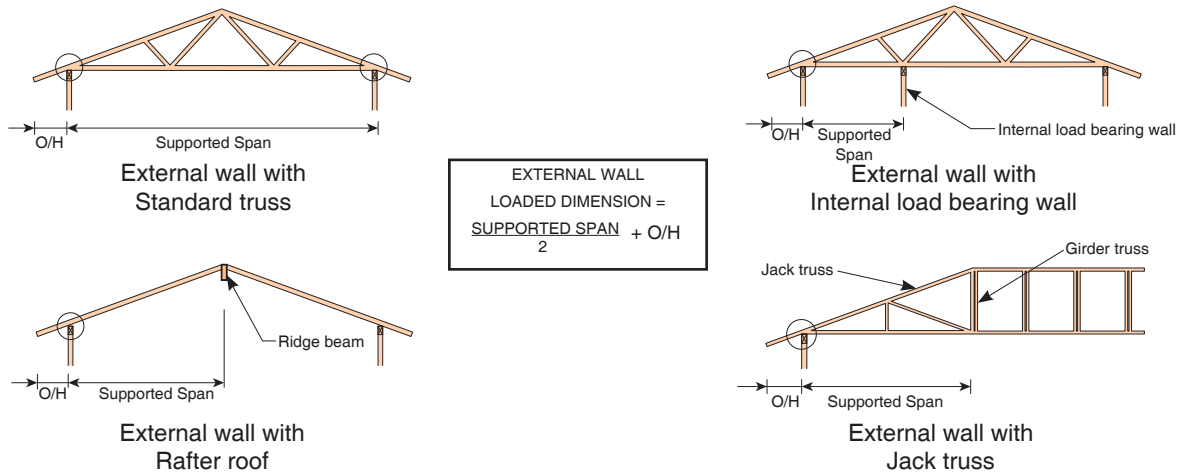
- ★ Complies with fixing requirements in Section 8 NZS 3604:2011
- ★ The BOWMAC® STUD-LOK forms an integral part of the MiTek Truss & Frame design and layout
- ★ Available in 2 lengths allowing for connections from stud to single top plate (SL125) and stud to double top plates (SL170)
- ★ Applied in the factory
- ★ Is a completely internal connection avoiding any clashes with wall linings

- NOTE:** ★ The STUD-LOK fixing is designed to resist vertical loads only.
- ★ Refer to Table 8.19 NZS 3604:2011 for nailing schedule to resist lateral loads.
- ★ The STUD-LOK connections assume that the correct choice of rafter/truss fixings have been made.
- ★ Wall framing arrangements under girder trusses are not covered in this schedule.
- ★ All timber selections are as per NZS 3604:2011 and include LVL8 timber grades.

DOUBLE TOP PLATES DEFINITION



LOAD DIMENSION DEFINITION



FIXING SELECTION CHART

(Suitable for walls supporting roof members at 600, 900 or 1200mm crs.)

Wind Zones L, M, H, VH, EH as per NZS 3604:2011

Loaded Dimension (m) Stud Centres			Light Roof Wind Zone					Heavy Roof Wind Zone				
300mm	400mm	600mm	L	M	H	VH	EH	L	M	H	VH	EH
3.0	2.3	1.5	2N	2N	SL	SL	SL	2N	2N	SL	SL	SL
4.0	3.0	2.0	2N	2N	SL	SL	SL	2N	2N	SL	SL	SL
5.0	3.8	2.5	2N	SL	SL	SL	SL	2N	2N	SL	SL	SL
6.0	4.5	3.0	2N	SL	SL	SL	SL	2N	2N	SL	SL	SL
7.0	5.3	3.5	2N	SL	SL	SL	SL	2N	2N	SL	SL	SL
8.0	6.0	4.0	2N	SL	SL	SL	SL	2N	2N	SL	SL	SL
9.0	6.8	4.5	SL	SL	SL	SL	SL	2N	2N	SL	SL	SL
10.0	7.5	5.0	SL	SL	SL	SL	SL	2N	2N	SL	SL	SL
11.0	8.3	5.5	SL	SL	SL	SL	SL	2N	2N	SL	SL	SL
12.0	9.0	6.0	SL	SL	SL	SL	SL	2N	2N	SL	SL	SL

2N = 2/ 90mm x 3.15 dia. nails

SL = Single STUD-LOK
plus 2/ 90mm x 3.15 dia. nails

NOTE:

To calculate the number of STUD-LOK fixings required, divide the wall length by the stud centres, add 1 to this figure and locate this number of fixings as evenly as possible along the wall length. This figure includes the start and end studs in each wall length.



ELECTRICAL CERTIFICATE OF COMPLIANCE & ELECTRICAL SAFETY CERTIFICATE

REFERENCE/CERTIFICATE ID No.: 378514

This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under Part 1 or Part 2 of AS/NZS 3000 are safe to be connected to the specified system of electrical supply.

Location Details: Lot 755/ 38 Crossley Ave, Woodend

Contact Details: (Name and address) Harvey Norman

Name of Electrical worker: Paul Mullinger Registration/Practising licence number: EW125582/E258225

Phone & email: Paul@mullingerelectrical.co.nz 0211159362

Name and registration number of person(s) supervised:

Certificate of Compliance

Type of work: ☐ Addition ☐ Alteration ☒ New work
The prescribed electrical work is: ☐ Low risk ☒ General ☐ High-risk (Specify):

Means of compliance: ☐ Part 1 of AS/NZS 3000 ☒ Part 2 of AS/NZS 3000

Additional Standards or electrical code of practice were required: ☒ No ☐ Yes (specify):

Date or range of dates that prescribed electrical work undertaken:

Contains fittings that are safe to connect to a power supply? ☒ Yes ☐ No

Specify type of supply system:

The installation has an earthing system that is correctly rated (where applicable) ☒ Yes ☐ No

Parts of the installation to which this certificate relates that are safe to connect to a power supply?
☒ All ☐ Parts (specify):

The work relies on manufacturers instructions: ☒ Yes ☐ No

If yes – identify the instruction manual including name, date and version. Also attach a copy of manufacturer’s instructions to this certificate.
(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:
Link:

The work has been done in accordance with a certified design: ☐ Yes ☒ No

If yes – identify the certified design including name, date and version. Also attach a copy of the certified design to this certificate.
(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:
Link:

The work relies on a Supplier Declaration of Conformity (SDoC): ☒ Yes ☐ No

If yes - identify the SDoC including name, date and version OR EESS registration. Also attach a copy of the SDoC to this certificate.
(Or provide reference to readily accessible electronic format, eg Internet link.)

Identify:
Link:

The installation has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010 ☐ No ☐ Yes

Description of Work:	Test Results (provide values)	
	Polarity (Independent earth):	/
	Insulation resistance:	>999m Ohms
	Earth Continuity:	/ Ohms
	Bonding:	/ Ohms
	Fault Loop impedance	/ Ohms
	Other (specify):	

By signing this document I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct.

Certifier’s signature: Paul Mullinger Date: 03/06/2023

Electrical Safety Certificate

By signing this document I certify that the installation, or part of the installation, to which this Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier’s name: Paul Mullinger Registration/Practising licence number: E258225

Certifier’s signature: Paul Mullinger Certificate Issue Date: 03/06/2023 Connection Date: 03/06/2023



ELECTRICAL CERTIFICATE OF COMPLIANCE & ELECTRICAL SAFETY CERTIFICATE

REFERENCE/CERTIFICATE ID No.: 210525 OWNER

This form has been designed to be used by licensed electrical workers to certify that installations or Part installations under Part 1 or Part 2 of AS/NZS 3000 are safe to be connected to the specified system of electrical supply.

Location Details:

LOT 755; 38 CROSSLEY AVENUE; RAVENSWOOD

Contact Details:
(Name and address)

Stonewood Homes, PO Box 11-036 Sockburn

Name of Electrical worker:

Heath Liddell

Registration/Practising licence number:

E283146

Phone & email:

Ph. 3384238 orders@smartsystems.net.nz

Name and registration number of person(s) supervised:

Lachlan Stanley

Louis Scollay

Certificate of Compliance

Type of work:

☐ Additions

☐ Alterations

☒ New work

Mains & MEN

The prescribed electrical work is:

☐ Low risk

☒ General

☐ High-risk (Specify):

Means of compliance:

☐ Part 1 of AS/NZS 3000

☒ Part 2 of AS/NZS 3000

Additional Standards were required: ☒ No ☐ Yes (specify):

Date or range of dates that prescribed electrical work undertaken:

29/6/23

Contains fittings that are safe to connect to a power supply?

☒

Yes

☐

No

Specify type of supply system:

MEN

Parts of the installation to which this certificate relates that are safe to connect to a power supply?

☐ All ☒ Parts (specify)

Mains, Switchboard and all circuits in Description of Work

The work relies on manufacturer's instructions:

☐

Yes

☒

No

If yes - copy of manufacturer's instructions attached. (Or provide reference to readily accessible electronic format, eg Internet link.)

The work has been done in accordance with a certified design:

☐

Yes

☒

No

If yes - copy of certified design attached. (Or provide reference to readily accessible electronic format, eg Internet link.)

The work relies on a Supplier Declaration of Conformity:

☒

Yes

☐

No

If yes - copy of Supplier Declaration of Conformity attached. (Or provide reference to readily accessible electronic format, eg Internet link.)

operations@smartsystems.net.nz

☒ Has an earthing system that is correctly rated (where applicable)

☒ The installation has been satisfactorily tested in accordance with the Electricity (Safety) Regulations 2010

Description of Work:

Switchboard, Mains, 29 x Power Sockets, 29 x Lights, 1 XOven, 1 XHob, 1 X HWC, 2 X Towel Rails, 3 x Extracts, 1 x Sensor 2 xSmoke Detectors Air con by others.

Test Results (provide values)

Polarity (Independent earth):	
Insulation resistance:	Ohms
Earth Continuity:	Ohms
Bonding:	Ohms
Fault Loop impedance:	Ohms
Other (specify):	

By signing this document I certify that the completed prescribed electrical work to which this Certificate of Compliance applies has been done lawfully and safely, and the information in the certificate is correct.

Certifier's signature:

Heath Liddell

Date:

29/6/23

Electrical Safety Certificate

By signing this document I certify that the installation, or part of the installation, to which this Electrical Safety Certificate applies is connected to a power supply and is safe to use.

Certifier's name:

Heath Liddell

Registration/Practising licence number:

E 283146

Certifier's signature:

Heath Liddell

Certificate Issue Date:

29/6/23

Connection Date:

29/6/23

CUSTOMER COPY - THIS IS AN IMPORTANT DOCUMENT AND SHOULD BE RETAINED FOR A MINIMUM OF 7 YEARS

This certificate also confirms that the electrical work complies with the building code for the purposes of Section 19(1)(e) of the Building Act 2004.



Private Bag 1005, Rangiora 7440
Ph 03 311 8900, 03 327 6834 Fax 03 313 4432
www.waimakariri.govt.nz

PRODUCER STATEMENT PIPEWORK TESTING

BC No.

Issued by (Plumber):

At (address):

For (Owner):

In respect of the testing of water pipe work prior
to concealment.

I hereby state that I have personally tested the water pipe work installed in the building authorised under this Building Consent by the method indicated hereunder.

☒ By pressurising the pipe work to 1500 kPa for a period of not less than 15 minutes for the hot and cold water supply and checking to see there are no leaks. (NZBC G12/AS1 7.5.1 (a), (b).)

☐ By pressurising the uPVC pipe work to 1.5 times the maximum working pressure for a period of not less than 15 minutes and checking that there are no leaks. (NZBC G12/AS1 7.5.2, NZS 7643).

Max working pressure was:

☐ By pressurising the pipe work to 1500 kPa for a period of not less than 5 minutes and checking to see there are no leaks. (NZBC G12 VM1, AS3500:Part 1.2 1998)

And believe on reasonable grounds that the pipe work has passed that test.

☒ All work complies with the NZBC

I also understand that Waimakariri District Council in accepting this producer statement will be relying on it to issue the Code Compliance Certificate at the completion of the building work.

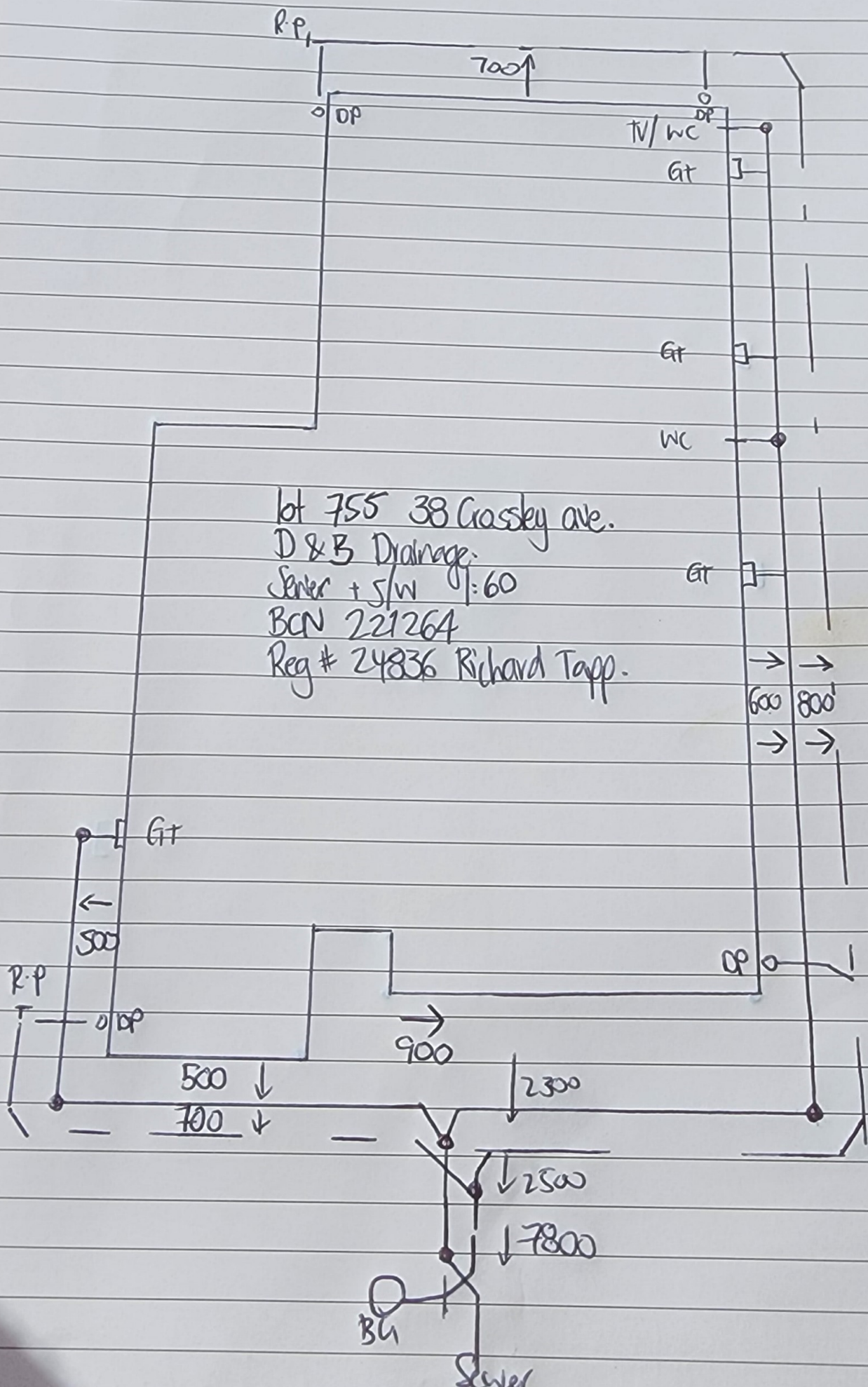
SIGNATURE OF LICENSED CERTIFYING PLUMBER:

Signature:

Registration Number:

Company Name:

Date:





Company Details

D & B Drainage and Excavation

139 Merton Road, Fernside

dandb@dandbdrainage.co.nz

Michael Boulton 0276305726

Richard Tapp 0274249918

Producer Statement

Building Consent Number: 221264

Issued By: Richard Tapp, Drainage Reg #24836 & Michael Boulton Drainage Reg #29791

To: Stonewood Homes

To be supplied to: Waimakariri District Council

At: 38 Crossley Ave

Lot Number: 755 Ravenswood

We have been engaged by the owner/developer/council referred to above to provide drainage and construction in respect of the requirements of G13 Drainage and E1 Surface Water of the building code for part only of the proposed work.

This is to confirm that this is done to clause G13 Foul Water AS3500 and E1 Surface Water under the building code and is in conjunction with the specifications on the consented plans for the property stated above. I confirm a water test was applied and held. We have attached working drawings and specifications of the above job. I believe that on reasonable grounds that all work as specified in the attached particulars of the building work under the building consent has been completed to the extent required by that building consent.

Signed: 

Date:

29-3-23

Date of installation: 14-3-23

Producer Statement

Drainlaying of Sewer & Stormwater

PS3 Construction

Issued by: DJB Drainage and Excavation
(the Contractor)

Registration No: 24836

Contractors' qualification and experience: (Tick appropriate box)

To: Waimakariri District Council

In respect of the following:

Storm water and all soak pits installed in accordance with E1, G13 or AS/NZ 3500 as shown on the approved plans or as per the attached as built drainage plan.

Installed at: Lot 755 / 38 Crossley Ave, Raverswood

Building Consent No: 221264

As a licenced Drainlayer, currently holding an annual practicing licence, certify that I, or personnel under my control have carried out the installation of the above system and I believe on reasonable grounds that the installation complies with the New Zealand Building Code.

The Contractor acknowledges that it is responsible to Waimakariri District Council for the information contained in this Producer Statement. The Contractor agrees to indemnify Waimakariri District Council against all liability suffered or incurred by the Council as a consequence of the information contained in this Producer Statement being found to be misleading or incorrect in whole or in part.

Signed: 

Date: 29-3-23

SITE INSPECTION RECORD



**WILTON
JOUBERT**

Consulting Engineers

59237

TYPE OF INSPECTION		Ribraff inspection	
WJL JOB NO. & REV.		12032	
CIVIL	☐	CONSENT No.	Bc221264
GEOTECH	☐	DATE & TIME	3/3/23 - 7.13
STRUCTURAL	☒	INSPECTOR	Be
ADDRESS			
Lot 755 Ravenswood			

H & S 'Take 5'	☒	JSA No.	☒	Initials	Be
----------------	-------------------------------------	---------	-------------------------------------	----------	----

All complete per plan

SITE CONTACT		COUNCIL INSPECTOR	
PASS	☒		
PENDING	☐		
FAIL	☐		



KERIKERI & WHANGAREI



AUCKLAND & OREWA



CHRISTCHURCH & WANAKA

SITE INSPECTION RECORD



**WILTON
JOUBERT**

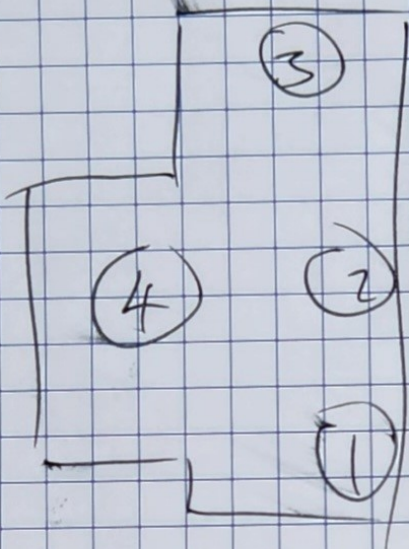
Consulting Engineers

59221

Hardfall inspection
121032

TYPE OF INSPECTION		Hardfall inspection	
WJL JOB NO. & REV.		121032	
CIVIL	☐	CONSENT No.	BC221264
GEOTECH	☒	DATE & TIME	13/2/23 - 9.09
STRUCTURAL	☐	INSPECTOR	Be
ADDRESS		Lot 755 Ravenswood	
H & S 'Take 5'	☒	JSA No.	☒
		Initials	Be

Clear
① 31
② 29
③ 27
④ 27



ok to continue

SITE CONTACT		COUNCIL INSPECTOR	
PASS	☒		
PENDING	☐		
FAIL	☐		

WWW.WILTONJOUBERT.CO.NZ

jobs@wjl.co.n



**WILTON
JOUBERT**

Consulting Engineers

KERIKERI & WHANGAREI



**WILTON
JOUBERT**

Consulting Engineers

AUCKLAND & OREWA



**WILTON
JOUBERT**

Consulting Engineers

CHRISTCHURCH & WANAKA
T 021 824 063 T 03 443 6209

SITE INSPECTION RECORD



**WILTON
JOUBERT**

Consulting Engineers

59213

TYPE OF INSPECTION		Site Cut inspection			
WJL JOB NO. & REV.		121032			
CIVIL	☐	CONSENT No.	BC221264		
GEOTECH	☒	DATE & TIME	8/2/23 - 9:41		
STRUCTURAL	☐	INSPECTOR	BC		
ADDRESS Lot 755 Ravenswood					
H & S 'Take 5'	☒	JSA No.	☒	Initials	BC
Site excavated to @ 400-450mm below CGL. Exposed material clay & gravels - over front 2/3 - rear 1/2 gravels - All organics removed. Scala continues bearing greater than 300kpa ultimate. Subgrade ready to accept load in 150mm layer					
SITE CONTACT		COUNCIL INSPECTOR			
PASS	☒				
PENDING	☐				
FAIL	☐				

WWW.WILTONJOUBERT.CO.NZ

jobs@wjl.co.nz



KERIKERI & WHANGAREI
T 09 945 4188



AUCKLAND & OREWA
T 09 527 0196



CHRISTCHURCH & WANAKA
T 031 924 0000

PRODUCER STATEMENT – PS4 – CONSTRUCTION REVIEW

(Guidance notes on the use of this form are printed on page 2)

ISSUED BY: Wilton Joubert Ltd.
(Construction Review Firm)

TO: Reliable Foundations South Island Ltd
(Owner/Developer)

TO BE SUPPLIED TO: Waimakariri District Council
(Building Consent Authority)

IN RESPECT OF: Site Cut Check; Compaction - Hardfill; Raft Floor - Prepour
(Description of Building Work)

AT: Lot 755, 38 Crossley Avenue, Ravenswood Subdivision, Woodend, Canterbury
(Address)
LOT 755 DP 582033 SO

Wilton Joubert Ltd. has been engaged by Reliable Foundations South Island Ltd
(Construction Review Firm)

To provide ☐ CM1 ☒ CM2 ☐ CM3 ☐ CM4 ☐ CM5 (Engineering Categories) or ☐ observation as per agreement with owner/developer
or ☐ other services
(Extent of Engagement)

in respect of clause(s) B1, B2 - excludes material supply/testing/installation of the Building Code for the building work described in documents relating to Building Consent No. BC221264

and those relating to Building Consent Amendment(s) Nos. issued during the course of the works. We have sighted these Building Consents and the conditions of attached to them.

Authorised instructions / variations(s) No. (copies attached) or by the attached Schedule ☐ have been issued during the course of the works.

On by the basis of ☐ this ☒ these review(s) and information supplied by the contractor during the course of the works and on behalf of the firm undertaking this Construction Review, I believe on reasonable grounds that ☐ All ☒ Part only of the building works have been completed in accordance with the relevant requirements of the Building Consent and Building Consent Amendments identified above, with respect to Clause(s) B1 / VM1 of the Building Code.

I also believe on reasonable grounds that the persons who have undertaken this construction review have the necessary competency to do so.

I, Andrew Wilton am: ☒ CPEng No. 176859
(Name of Construction Review Professional)

☐ Reg Arch No.

I am a Member of: ☒ IPENZ ☐ NZIA and hold the following qualifications: BE CEngNZ CEng IntPE DipMS

The Construction Review Firm issuing this statement holds a current policy of Professional Indemnity Insurance no less than \$200,000*.

The Construction Review Firm is a member of ACENZ: ☐

SIGNED BY Andrew Wilton ON BEHALF OF Wilton Joubert Ltd.

Date: 13 Apr 2023 Signature: A. Wilton

Note: This statement shall only be relied upon by the Building Consent Authority named above. Liability under this statement accrues to the Design Firm only. The total maximum amount of damages payable arising from this statement and all other statements provided to the Building Consent Authority in relation to this building work, whether in contract, tort or otherwise (including negligence), is limited to the sum of \$200,000*.

This form is to accompany Forms 6 or 8 of the Building (Form) Regulations 2004 for the issue of a Code Compliance Certificate.

Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address: **Lot 755 / 38 Crossley Ave**

Suburb: **Ravenswood**

Town/City: **Woodend**

Postcode:

THE PROJECT

Building consent number: **BC 221264**

THE OWNER(S)

Name(s): **Stonewood Homes**

Mailing address: **99 Clarence St**

Suburb: **Riccarton**

PO Box/Private Bag:

Town/City: **CHCH**

Postcode: **8011**

Phone number:

Email address:

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work.	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing ☒	Installed Ribraft Concrete Foundation to Engineers design and as per consented plans	☒ Carried out ☒ Supervised
Walls ☐		☐ Carried out ☐ Supervised
Roof ☐		☐ Carried out ☐ Supervised
Columns and beams ☐		☐ Carried out ☐ Supervised
Bracing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS		
Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work.	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing ☒	Installed Polythene to underside of concrete foundation as per Ribraft design shown in consented plans	☒ Carried out ☒ Supervised
Roof cladding or roof cladding system ☐		☐ Carried out ☐ Supervised
Ventilation system (for example, subfloor or cavity) ☐		☐ Carried out ☐ Supervised
Wall cladding or wall cladding system ☐		☐ Carried out ☐ Supervised
Waterproofing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: **Tom Dale**

LBP number: **137338**

Class(es) licensed in:

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office: **85 Perry St**

Suburb: **Papanui**

Town/City: **CHCH**

PO Box/Private Bag

Postcode: **8053**

Phone number:

Mobile: **0276151643**

After hours:

Fax:

Email address:

Website:

DECLARATION

Tom Dale

I _____ carried out or supervised the restricted building work recorded on this form.

Signature: _____

Date: _____

22/3/23

Form 6A

Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address:

Suburb:

Town/City:

Postcode:

THE PROJECT

Building consent number:

THE OWNER(S)

Name(s):

Mailing address:

Suburb:

PO Box/Private Bag:

Town/City:

Postcode:

Phone number:

Email address:

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work.	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing ☐		☐ Carried out ☐ Supervised
Walls ☐		☐ Carried out ☐ Supervised
Roof ☐		☐ Carried out ☐ Supervised
Columns and beams ☐		☐ Carried out ☐ Supervised
Bracing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work.	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing ☐		☐ Carried out ☐ Supervised
Roof cladding or roof cladding system ☐		☐ Carried out ☐ Supervised
Ventilation system (for example, subfloor or cavity) ☐		☐ Carried out ☐ Supervised
Wall cladding or wall cladding system ☐		☐ Carried out ☐ Supervised
Waterproofing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name:

LBP number:

Class(es) licensed in:

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office:

Suburb:

Town/City:

PO Box/Private Bag

Postcode:

Phone number:

Mobile:

After hours:

Fax:

Email address:

Website:

DECLARATION

I _____ carried out or supervised the restricted building work recorded on this form.

Signature:



12/7/2023

Date:

Form 6A

Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another sheet and attach the additional sheet(s) to this form.

THE BUILDING

Street address:

Suburb:

Town/City:

Postcode:

THE PROJECT

Building consent number:

THE OWNER(S)

Name(s):

Mailing address:

Suburb:

PO Box/Private Bag:

Town/City:

Postcode:

Phone number:

Email address:

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work.	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Foundations and subfloor framing ☐		☐ Carried out ☐ Supervised
Walls ☐		☐ Carried out ☐ Supervised
Roof ☐		☐ Carried out ☐ Supervised
Columns and beams ☐		☐ Carried out ☐ Supervised
Bracing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work.	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work.
Damp proofing ☐		☐ Carried out ☐ Supervised
Roof cladding or roof cladding system ☐		☐ Carried out ☐ Supervised
Ventilation system (for example, subfloor or cavity) ☐		☐ Carried out ☐ Supervised
Wall cladding or wall cladding system ☐	Installed brick veneer with sand and cement to external walls.	☒ Carried out ☐ Supervised
Waterproofing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name:

LBP number:

Class(es) licensed in:

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office:

Suburb:

Town/City:

PO Box/Private Bag

Postcode:

Phone number:

Mobile:

After hours:

Fax:

Email address:

Website:

DECLARATION

I _____ carried out or supervised the restricted building work recorded on this form.

Signature: _____



Date: _____

10/5/23

Memorandum from Licensed Building Practitioner:
Record of building work
Section 88, Building Act 2004



THE BUILDING

Street address: 38 Crossley Avenue

Suburb: Reverieswood

Town/City: Woodend

Postcode:

THE PROJECT

Building consent number: BC221264

THE OWNER(S)

Name(s):

Mailing address:

Suburb:

PO Box/Private Bag:

Town/City:

Postcode:

Phone number:

Email address:

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work Tick	Description of restricted building work If necessary, describe the restricted building work	Carried out or supervised Tick ☒ whether you carried out the RBW or supervised someone else.
Foundations and subfloor framing ☐		☐ Carried out ☐ Supervised
Walls ☐		☐ Carried out ☐ Supervised
Roof ☐		☐ Carried out ☐ Supervised
Columns and beams ☐		☐ Carried out ☐ Supervised
Bracing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Damp proofing ☐		☐ Carried out ☐ Supervised
Roof cladding or roof cladding system ☐		☐ Carried out ☐ Supervised
Ventilation system (for example, subfloor or cavity) ☐		☐ Carried out ☐ Supervised
Wall cladding or wall cladding system ☒	Install Hardies Linea Oblique to Front Feature, Gable & Entrance	☒ Carried out ☐ Supervised
Waterproofing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work.

Name: Robert Shaw

LBP number: 127159

Class(es) licensed in: Carpentry

Plumbers, Gasfitters and Drainlayers registration number (if applicable):

Mailing address (if different from below):

Street address/Registered office: 8 The Esplanade, Pegasus

Suburb:

Town/City:

PO Box/Private Bag:

Postcode:

Phone number:

Mobile: 021 349744

After hours:

Fax:

Email address:

Website:

DECLARATION

I, Robert Shaw, carried out or supervised the restricted building work recorded on this form.

Signature: R. Shaw

Date: 8.6.23

Memorandum from licensed building practitioner: Record of building work

Section 88, Building Act 2004

Please fill in the form as fully and correctly as possible.

If there is insufficient room on the form for requested details, please continue on another page and attach the additional sheet(s) to this form.

THE BUILDING

Street address of building:

Lot 755 Ravenswood (38 Crossley Avenue)

Suburb: Woodend

Town / City: Waimakariri, Canterbury

Postcode: 7691

THE PROJECT

Building consent number: BC221264

THE OWNER(S)

Name(s): GJEK Ltd

Mailing address:

c/- Oakridge Homes

Suburb:

PO Box / Private Bag:

Town / City:

Postcode:

Phone number:

Email address:

RECORD OF WORK THAT IS RESTRICTED BUILDING WORK

PRIMARY STRUCTURE

Work that is restricted building work	Description	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work
Foundations and subfloor framing ☐		☐ Carried out ☐ Supervised
Walls ☐		☐ Carried out ☐ Supervised
Roof ☐		☐ Carried out ☐ Supervised
Columns and beams ☐		☐ Carried out ☐ Supervised
Bracing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

EXTERNAL MOISTURE MANAGEMENT SYSTEMS

Work that is restricted building work	Description of restricted building work	Carried out or supervised
Tick ☒	If necessary, describe the restricted building work	Tick ☒ whether you carried out the restricted building work or supervised someone else carrying out the restricted building work
Damp proofing ☐		☐ Carried out ☐ Supervised
Roof cladding or roof cladding system ☒	Install pressed metal tile roof and 50 x 40 battens	☐ Carried out ☒ Supervised
Ventilation system (for example, ☐ subfloor or cavity)		☐ Carried out ☐ Supervised
Wall cladding or wall cladding system ☐		☐ Carried out ☐ Supervised
Waterproofing ☐		☐ Carried out ☐ Supervised
Other ☐		☐ Carried out ☐ Supervised

Note: continue on another page if necessary.

ISSUED BY

Name and contact details of the licensed building practitioner who is licensed to carry out or supervise restricted building work

Name: Kevin Crawford

LBP number: BP107181

Class(es) licensed in: Roofing R3

Plumbers, Gasfitters and Drainlayers Board registration number (if applicable):

Mailing address (if different from below):

Street address / Registered office: 105b Barnes Road, Ladbrooks RD2, Christchurch

Phone number: Landline:

Mobile: 0274442346

Daytime: 0274442346

After hours: 0274442346

Fax:

Email address: kevin@canterburyroofing.co.nz

Website:

DECLARATION

I, Kevin Crawford, [name of practitioner]

carried out or supervised the restricted building work recorded on this form.

Signature: 

Date: 10/04/23

Producer Statement Construction PS3



Canterbury Roofing (2014) Contracting
T/A Canterbury Roofing (2014)
PO Box 16227
Hornby
Christchurch
8143
PH 0274 442 346

Issued by: Kevin Crawford

to Waimakariri District Council.

SECTION 1: OWNER

Owner: GJEK Ltd

Project Address: Lot 755 Ravenswood (38 Crossley Avenue), Woodend

Description of Building Work: Residential New Build

Scope of work covered by statement: Installation of 50x40 H1.2 battens using 2 x power driven 90mm nails @ 900 centers

System / Product used (if applicable): Gerard Roofing system

I (Constructor): Kevin Crawford..... have been engaged by
Oakridge Homes
..... (building consent applicant) to construct:

☐ All ☒ Part only

As specified in the attached particulars of Building Consent Number: ABA BC221264 and its attached conditions and am satisfied on reasonable grounds that the building work specified above has been completed to the extent required by that Building Consent and complies with the Building Consent.

Specific reference to the Building Code:	B1	B2	C1	C2	C3	C4	D1	D2	E1	E2
What clauses of the Building Code are covered by the Producer Statement?	E3	F1	F2	F3	F4	F5	F6	F7	F8	G1
(Circle applicable clauses)	G2	G3	G4	G5	G6	G7	G8	G9	G10	G11
	G12	G13	G14	G15	H1					

I understand that this Producer Statement, if accepted, will be relied upon by Waimakariri District Council

for the purpose of establishing compliance with the Building Consent.

SECTION 2: CONSTRUCTOR'S DETAILS

Name: Kevin Crawford Registration Number: BP107181

Qualifications / Experience: Licensed Building Practitioner.....

Address: 105b Barnes Road, Ladbrooks, Christchurch

WORK: MOBILE: 027 2417601.....

Fax: Email: k.crawford@xtra.co.nz

Signature:  Date: 10/04/23

